

# National Multiple-Use Approval Service

November/December 2009



Department of  
Building and Housing  
*Te Tari Kaupapa Whare*



## Broader Context

- The Minister has talked about the Government's desire to streamline compliance, improve efficiency and address liability issues.
- One of the Government's main priorities is lifting productivity across the whole economy.
- The Minister has initiated a review of the Building Act 2004. Scoping work is underway to look at possible areas of reform.
- The review is a risk-based approach to building work, i.e., put the energy into higher level risk, rather than "one size fits all".
- Licensing of building practitioners is a key part of this.



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## Objectives

- To **inform you** of the features of National Multiple-Use Approvals.
- To create **improved client service**.
- To **answer your questions** about National Multiple-Use Approvals.

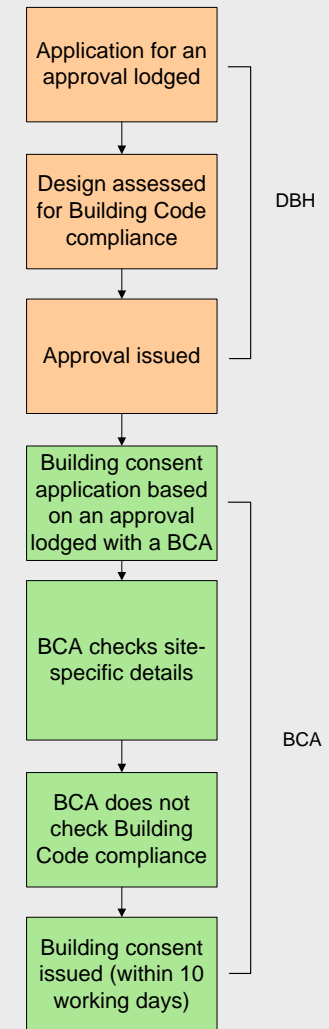


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## What is a National Multiple-Use Approval?

- An approval is a **statement** by the Department of Building and Housing that a particular set of plans and specifications complies with the Building Code.
- A BCA **must accept** an approval as evidence of Code compliance.
- An approval is not permission to begin building work. A **building consent** must still be sought.
- BCAs have **10 working days** to process a building consent application that relies on an approval.



## Context

- National Multiple-Use Approvals established under the Building Amendment Act 2009.
- Delivered by the Department of Building and Housing as a new service.
- Aimed at **volume builders**, including group home builders and suppliers of kitset buildings.



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## Goals of National Multiple Use Approval Scheme

- To **streamline** building consent processes.
- To **shorten** consent processing times.
- To provide **certainty** of Building Code compliance for volume builders.
- To allow BCAs to **focus** on riskier, one-off designs.
- To provide eventual **cost-savings** to consumers and the economy.



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## Service features

- Any **volume builder** can apply (volume builder defined as replicating the design ten times in a two-year period).
- The Department has **40 working days** to decide the application, once it has been vetted and accepted.
- Initial **scope** – standalone outbuildings (garages, sheds, farm buildings), and standalone and duplex houses of up to two storeys.
- Full, buildable **plans and specifications** required (excluding site-specific details). Not accepting applications for standalone systems or products.
- Any desired **customisations** must be identified up front.
- Approval details will be posted on an on-line **public register** and BCAs will have password-protected **access to plans**.
- Provision for the service **review** after two years.



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## Fees

- **Hourly rates**, based on full cost recovery. Service must be self-funding.
- Initial \$2,000 pre-payment, of which \$500 is the non-refundable processing fee, should the application be withdrawn or declined.
- Three standard rates (including GST):
  - Account manager: \$96 per hour
  - Assessor: \$147 per hour
  - Specialist (if needed): \$225 per hour
- The approval of a **typical house** expected to cost \$5,500 to \$9,000 (including GST).



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## How do BCAs handle a National Multiple-Use Approval?

- **BCAs:**
  - check planning requirements, as normal
  - ensure the submitted drawing references match those on the approval certificate
  - check that any conditions specified in the approval have been met
  - check Building Code compliance of site-specific features (such as drainage)
  - undertake inspections and CCCs processes as normal
  - contact the Department with any clarification requests or concerns.



## How do BCAs handle a National Multiple-Use Approval?

- **BCAs do not:**
  - re-check the design for Building Code compliance (except site-specific features)
  - seek design producer statements
  - check calculations.



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## What to do if...

- The design differs from the approval (other than specifically permitted customisations)?
  - BCAs treat the application as a **normal** building consent application.
- Applicant wishes to make amendments once work has begun?
  - BCAs use normal **amendment** processes.
- The building fails because of an inherent design flaw?
  - BCAs are **not liable** because you must accept an approval as evidence of Building Code compliance (except site-specific details). Let the Department know.
- There's a dispute with the applicant?
  - Normal determination processes apply.



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## Next steps

- 'Go-live' date is **1 February 2010** for applications to the Department.
- First applications to BCAs likely late March/April.
- BCAs will receive detailed written guidance in January from the Department.
- Other building types may be added to the service over time
- There will be ongoing **promotion** of service by the Department to volume builders.
- The Department will **evaluate** service success.



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## Your questions and discussion

- Please email us on [multiproof@dbh.govt.nz](mailto:multiproof@dbh.govt.nz).



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